S O U T H P O I N T E

ARCHITECTURAL IMPROVEMENT REQUEST

Name: _____ **Address:** _____

Home Phone: _____ **Work Phone:** _____ **E-mail:** _____

Please place an X in the appropriate requested improvement(s):

☐ **Painting** ☐ **Deck / Patio Slab** ☐ **Roofing** ☐ **Drive / Walk Addition** ☐ **Landscaping** ☐ **Fencing**

☐ **Patio Cover** ☐ **Room Addition** ☐ **Swing Set** ☐ **Other:** _____

Briefly describe proposed improvement(s) and attach all pertinent information, plans, samples and brochures:

_____

_____

_____

_____

_____

I hereby agree that I must first receive approval from the Architectural Review Committee (ARC) in order to proceed. It is also understood that an ARC approval does not constitute approval of the local Building Department and that I may be required to obtain a building permit. The ARC will not have liability for the structural integrity of any approved requests. I understand that painted, stained or sealed improvements require proper and regular upkeep to maintain the original finish. I understand all landscaping must be maintained to prevent general overgrowth, and that landscaping along my property lines will require special care to prevent overgrowth onto adjacent private or public properties. I also agree that I must maintain proper drainage on my lot, and will complete the requested improvements by (*insert date*) _____ , I authorize the ARC and/or Management Company to enter onto my property for exterior inspection at a mutually agreed upon time. If I refuse to allow inspection of the improvements, or if the improvements are not completed within the specified time, I understand and agree that approval may be withdrawn. I have read the instruction sheet and will comply. If my request is denied I may appeal within 30 days of denial notification.

Homeowners Signature: _____ **Date:** _____

Architectural Review Committee Decision:

☐ **Approved** as submitted

☐ **Conditionally Approved** - See comments listed below

☐ **Disapproved** – See comments listed below

Comments: _____

_____

_____

_____

Reviewed by: _____ **Signature:** _____ **Date:** _____

SOUTH POINTE HOMEOWNERS ASSOCIATION
ARCHITECTURAL IMPROVEMENT - INSTRUCTION SHEET

1.   Complete the Architectural Improvement form.
2.   Attach as many visual or written details as needed. (Refer to tips below)
3.   Submit to:

Vista Management Associates, Inc
8700 Turnpike Drive Ste. 230
Westminster, CO 80031
Ph: 303-429-2611
Fax: 303-429-2632

NOTE: The approval process can take up to 45 days. Please remember this when planning your project.

The Architecture Review Committee (ARC) is here to protect the neighborhood=s total value, and integrated community by reviewing plans and information for compatibility with the architectural and materials of the neighborhood. The ARC will not regulate, recommend or dictate the construction or installation techniques of the homeowner or their contractors. That is the responsibility and liability of the individual homeowner.

<u>REQUIREMENTS</u>

PAINTING:

Owner shall obtain a sample of each color of actual paint to be used on the structure and apply them to a location on the house for review by the ARC. The location must be visible from the street.

Body color shall be 2' x 2' and trim colors in strips of 2' x 4" wide immediately adjacent to the body color. The sample shall be painted on the garage of the resident's home. Satin, Flat or Matte are the only acceptable sheen finishes for the paint. Please do not choose gloss or semi-gloss. Please see further painting instructions below.

LANDSCAPING:

Include a plot plan showing the completed project. Size details can be easily drawn using 1/4" or 1/8" graph paper. Be sure to include existing conditions. Proposed improvements should be highlighted with marker or dark circles/bubble around them. If you will be planting trees and shrubs, be sure to indicate the type and mature size on the plot plan or graph paper. It is also important to list the type of color of rock or mulch. The ARC will review the specific planting to make sure they remain within your property at maturity. If this information is not provided, the ARC will in all likelihood ask you for it, and cause a delay in the review of your request. It is also important to list the type/size and color of rock or mulch.

PLEASE NOTE: You can void your structural warranty by making changes to the final grade and altering the grade can affect your neighbor=s grade.

RETAINING WALL/PATIOS/DECKS/PATIO COVERS/GAZEBOS:

Provide a description of the project: i.e. retaining wall constructed of 6" x 6" x 8" treated timbers; 12' x 16' patterned concrete patio; 12' x 20' redwood deck; 6' privacy fence of 1" x 4" dog ear pickets; 12' x 18' patio cover-solid roof with shingles and gutter system.

> ➢   Include plot plan showing dimension (width, length and height). Elevations (what it will look like from the front and sides) can be sketched on 1/4" or 1/8" graph paper.

> ➢   Include a general description of what materials will be used to construct it and how they will be finished. Not all items listed above require finishing, but if that is part of your plan, please list it, i.e. clear sealer or paint to match existing home.

FENCING:

<u>Inside Estates Area</u>:

All fences inside the estates area are to be 42 inch high, three rail wooden fences with optional rustproof welded wire to confine pets or children. Only rustproof wire is allowed and may not exceed the height of the top rail of the fence. No plastic, chicken, hog, barbed or stranded wire fence is allowed.

<u>Bordering Estates Area:</u>

Fences that border any homes in the Estates area must be the same 42 inch high, three rail wooden fence. The same restrictions on wire apply.

Bordering Whitetail Park or Open Space:

Fences bordering Whitetail Park, City or County Open Space, or the small space east of the South Pointe pool must be the 42 inch high, three rail wooden fence design. The same restrictions on wire apply.

Outside the Estates Area:

Fences outside the Estates area fall into two categories, as follow:

1. Arterial Fencing: Fences lying along roadways must be the 6 foot high, Highlands Style wooden fence. This will match the perimeter fence along Highways 42 and 287 replaced by the SPHOA in 2017.
2. Non-Arterial Fencing: Other 6 foot fences that do not face roadways, (e.g. between properties), may be replaced with a design chosen by the Homeowner. Such fences must be wooden and 6 feet in height.

Please note: the legacy five foot plus one foot opening at the top design that was originally installed by builders in South Pointe is being phased out and is no longer approved for replacement. As these fences need to be replaced, the above restrictions will prevail.

ROOFING:

Write "to match existing" *OR* if new color scheme, submit shingles samples or brochure showing the type and color of brick/block you are using.

BRICK/BLOCK:

Write to match existing: *OR* if new color scheme, submit shingles samples or brochure showing the type and color of brick/block you are using.

BUILDING ADDITIONS:

If you are constructing a room addition to your home, it is important to include a floor plan and exterior elevations with the plot plan showing location on the lot. These drawings should include dimensions of width, length and height.

SOUTH POINTE HOMEOWNERS ASSOCIATION
PAINTING INSTRUCTION SHEET

❖ **Plan to submit your request at least 45 days in advance of project start date.**
   o Per the Covenants, an Architectural Improvement Request response can take up to 45 days to complete its processing. This starts after Vista Mgmt receives the request and logs the date received.
   o It's best to give yourself plenty of time.
   o To be safe, do not arrange a date with your contractor until your request has been approved.
   o Submission does not guarantee approval.

❖ **Painting Samples**
   o Decide on a single paint scheme, made up of body, trim & accent colors before submitting your request.
   o Paint your sample on your garage door before submitting your request per the diagram instructions below.
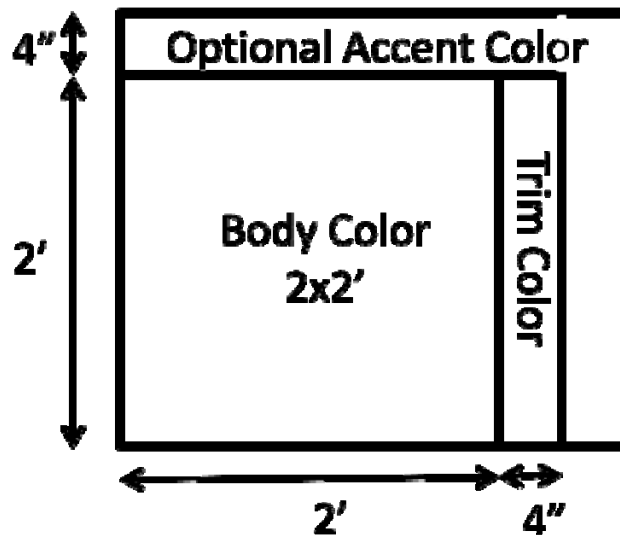
   ▪ Paint a two square foot body color sample on your garage door.
   ▪ Adjacent to one side of the body color square, paint a 2 foot by 4 inch trim sample, such that the longer side of the rectangle is next to the body color sample.
   ▪ If a third accent color is desired, paint a 4 inch strip around the body and trim color.
   o Display a single sample when you submit your request, multiple samples

may confuse the committee and may lead to delays.

- o Provide the color chip samples for each color in the paint scheme.
- o The color chip samples should include the following information: a sample of the color, the color name, brand name, and identifying number.
- o Pick up the color chip samples where you purchase your paint -OR- You create your own on white 3"x5" index cards, apply each paint color sample to a single card and provide the color name, brand name, and identifying number on the card.

- ❖ **Please remember everything in the covenants still applies.**

cedar picket
privacy fence with
clear sealer

(1) clump
Aspen
(15' mat ht.)

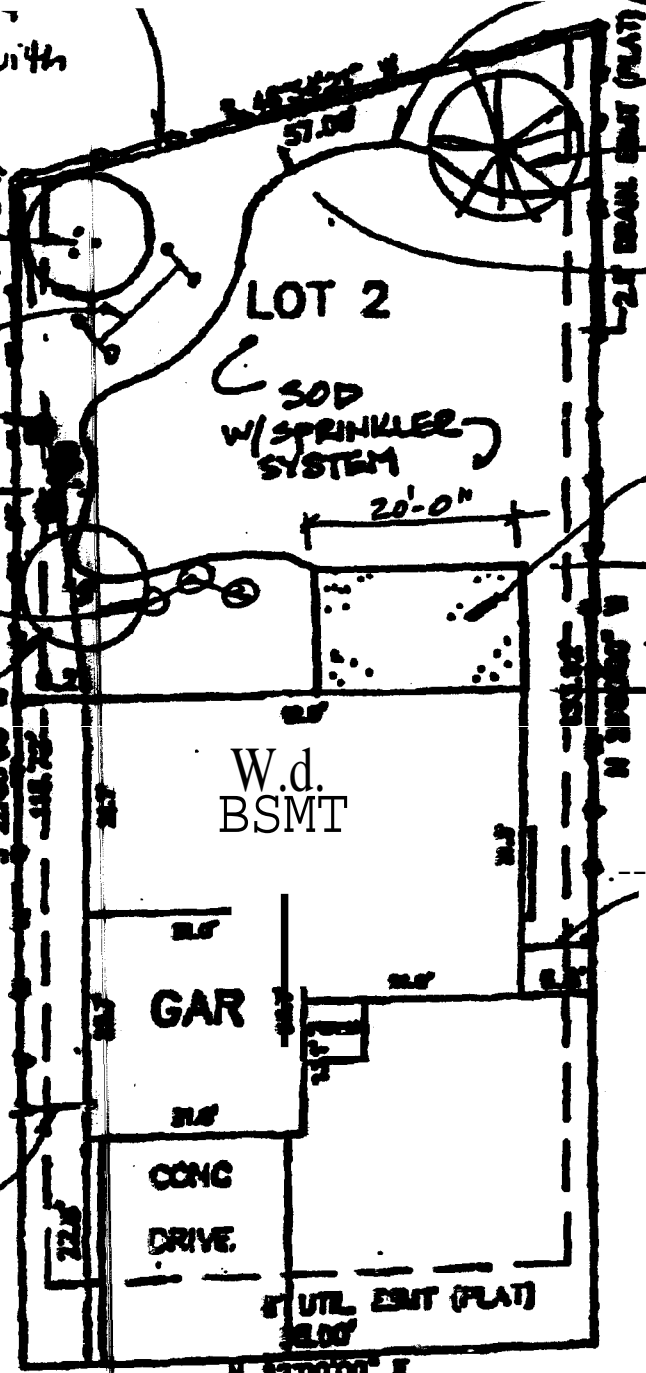Swing set: to be
(Submitted at
future date

(3) Juniper
(1' mat. ht.)

(3) Red twig
Dogwood
(4' mat. ht.)

(1) clump
Aspen
(15' mat. ht.)

Concrete edging
(typical)

(1) Blue Spruce
(20' mat. ht.)

Rock = 1½"
riverrock
(typical)

LOT 2

SOD
W/SPRINKLER
SYSTEM

20'-0"

NEW CONCRETE
PATIO

W.d.
BSMT

...sf;t'l;S   '''3
CL

LOT 1

LOT3

GAR

CONC

DRIVE

Existing
wing fence

UTIL ESMT (PLAT)

W. COOPER DR.
(!/// Raw)

" XAMPLE"

q   fO   20   40